

DETERMINATION AND STATEMENT OF REASONS
SYDNEY CENTRAL CITY PLANNING PANEL

DATE OF DETERMINATION	Tuesday, 17 July 2018
PANEL MEMBERS	Mary-Lynne Taylor (Chair), Paul Mitchell, Lindsay Fletcher, Paul Stein and Paul Moulds
APOLOGIES	None
DECLARATIONS OF INTEREST	None

Electronic meeting held between 11 July 2018 and 17 July 2018.

MATTER DETERMINED

2018SWC040 – Cumberland – DA2016/501/2 at 7 Dursley Road and 63 Pine Road, Yennora (as described in Schedule 1)

PANEL CONSIDERATION AND DECISION

The Panel considered: the matters listed at item 6, the material listed at item 7 and the material presented at meetings listed at item 8 in Schedule 1.

The Panel determined to approve the development application pursuant to section 4.55 of the *Environmental Planning and Assessment Act 1979*.

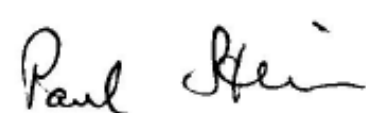
The decision was unanimous.

REASONS FOR THE DECISION

The Panel determined to approve the application for the reasons outlined in the Council assessment report.

CONDITIONS

The development application was approved subject to the conditions in the Council Assessment Report.

PANEL MEMBERS	
 Mary-Lynne Taylor (Chair)	 Paul Mitchell OAM
 Lindsay Fletcher	 Paul Moulds AM
 Paul Stein AM	

SCHEDULE 1		
1	PANEL REF – LGA – DA NO.	2018SWC040 – Cumberland – DA2016/501/2
2	PROPOSED DEVELOPMENT	S4.55(2) modification seeking alterations and additions to an approved industrial warehouse including an additional GFA of 1000m2, an additional office area of 359m2, additional 16 parking spaces and alterations to setbacks.
3	STREET ADDRESS	7 Dursley Road and 63 Pine Road, Yennora
4	APPLICANT OWNER	Nick Greenwell (Fife Capital) Tap II Yennora B Pty Limited
5	TYPE OF REGIONAL DEVELOPMENT	Section 4.55(2) Modification Application
6	RELEVANT MANDATORY CONSIDERATIONS	- Environmental planning instruments: - State Environmental Planning Policy (Infrastructure) 2007 - State Environmental Planning Policy No 55 – Remediation of Land - State Environmental Planning Policy No 64 – Advertising and Signage - Water Management Act 2000 - Greater Metropolitan Regional Environmental Plan No 2 – Georges River Catchment - Holroyd Local Environmental Plan 2013 - Draft environmental planning instruments: Nil - Development control plans: - Holroyd Development Control Plan 2013 - Planning agreements: Nil - Provisions of the <i>Environmental Planning and Assessment Regulation 2000</i>: Nil - Coastal zone management plan: Nil - The likely impacts of the development, including environmental impacts on the natural and built environment and social and economic impacts in the locality - The suitability of the site for the development - Any submissions made in accordance with the <i>Environmental Planning and Assessment Act 1979</i> or regulations - The public interest, including the principles of ecologically sustainable development
7	MATERIAL CONSIDERED BY THE PANEL	- Council assessment report: 25 June 2018 - Written submissions during public exhibition: NIL
8	MEETINGS AND SITE INSPECTIONS BY THE PANEL	Electronic meeting held between 11 July 2018 and 17 July 2018
9	COUNCIL RECOMMENDATION	Approval
10	DRAFT CONDITIONS	Attached to the council assessment report